

AN OFFICE RENOVATION FOR THE CITY OF SHREVEPORT SPAR RECREATION & ATHLETICS

856 TEXAS AVENUE
SHREVEPORT, LOUISIANA 71101



PROJECT ASSOCIATES

ARCHITECT
RUSSELL G. DeLANCY, AIA, ARCHITECT
505 TRAVIS STREET, SUITE 560
SHREVEPORT, LOUISIANA 71101
(318) 673-7868

CITY ADMINISTRATION

CITY OF SHREVEPORT
TOM ARCENEAUX - MAYOR
TOM DARK - CHIEF ADMINISTRATIVE OFFICER

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH THE FOLLOWING CODES:
 - 2023 LOUISIANA STATE UNIFORM CONSTRUCTION CODE
 - 2021 INTERNATIONAL BUILDING CODE
 - 2021 INTERNATIONAL EXISTING BUILDING CODE
 - 2021 INTERNATIONAL MECHANICAL CODE
 - 2021 INTERNATIONAL PLUMBING CODE
 - 2021 INTERNATIONAL FUEL GAS CODE
 - 2015 NFPA 101 LIFE SAFETY CODE REQUIREMENTS
 - 2010 ADA-ABA ACCESSIBILITY GUIDELINES
 - 2020 NATIONAL ELECTRIC CODE
- ALL WORK SHALL CONFORM TO ALL OTHER PERTINENT CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED BY THE CITY OF SHREVEPORT AND THE STATE OF LOUISIANA.
- ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, FACE OF PARTITION, OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND, IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.
- TEMPORARY BARRICADES FOR THE PROTECTION OF PEDESTRIANS SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SHREVEPORT AND/OR THE STATE OF LOUISIANA.
- DURING CONSTRUCTION PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF 2A-10B:C WITHIN A 75 FOOT TRAVEL DISTANCE OF ALL PORTIONS OF THE BUILDING ON EACH FLOOR. LOCATE AS DIRECTED BY THE LOUISIANA STATE FIRE MARSHAL.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.

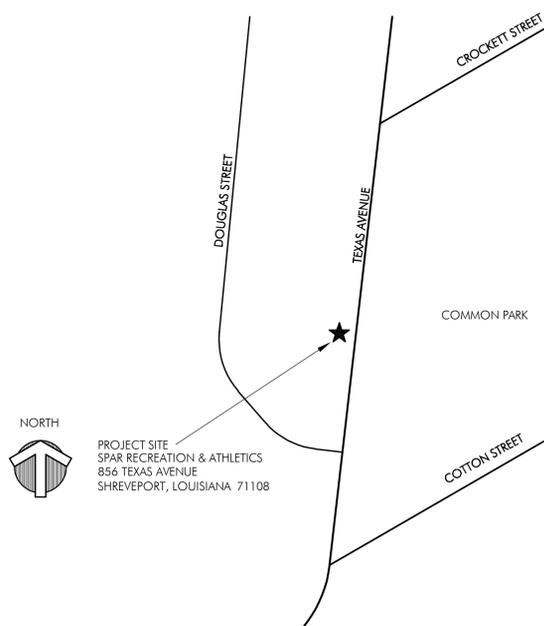
ABBREVIATIONS

@	AT ABOVE FINISHED FLOOR	HORIZ.	HORIZONTAL
A.F.F.	ALUM.	I.D.	INSIDE DIAMETER
ALUM.	ALUMINUM	INT.	INTERIOR
ANOD.	ANODIZED	JAN.	JANITORS CLOSET
APPROX.	APPROXIMATELY	LAV.	LAVATORY
BD.	BOARD	LLH.	LONG LEG HORIZONTAL
BLDG.	BUILDING	LLV.	LONG LEG VERTICAL
BLK.	BLOCK	MANUF.	MANUFACTURER
BM.	BEAM	MAS.	MASONRY
C	COMPACT STALL	MAX.	MAXIMUM
C.B.	CATCH BASIN	MECH.	MECHANICAL
C.I.P.	CAST IN PLACE	M.H.	MANHOLE
C.J.	CONTROL JOINT	MIN.	MINIMUM
C.L.	CENTER LINE	MISC.	MISCELLANEOUS
CLR.	CLEAR	M.O.	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MTL.	METAL
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	O.C.	ON CENTER
DBL.	DOUBLE	O.D.	OUTSIDE DIAMETER
DET.	DETAIL	OPG.	OPENING
DIA.	DIAMETER	P.L.	PROPERTY LINE
DIM.	DIMENSION	P.P.	POWER POLE
DN.	DOWN	PR.	PERIMETER
AP	ACCESSIBLE PARKING	R.D.	ROOF DRAIN
D.S.P.	DRY STANDPIPE	REINF.	REINFORCED (ING)
DWGS.	DRAWINGS	REQD.	REQUIRED
EA.	EACH	R.O.	ROUGH OPENING
E.F.D.	EMERGENCY FLOOR DRAIN	S	STALL WIDTH
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
EQ.	EQUAL	S.D.	STORM DRAIN
EWC.	ELECTRIC WATER COOLER	SECT.	SECTION
EXIST.	EXISTING	SHT.	SHEET
EXT.	EXTERIOR	SIM.	SIMILAR
F.D.C.	FIRE DEPT. CONNECTION (INPUT)	SP	SPRINKLER RISER
F.D.H.C.	FIRE DEPT. HOSE CONNECTION (2-1/2" & 1-1/2" OUTLETS)	SPECS.	SPECIFICATIONS
FEC	FIRE EXTINGUISHER CABINET	S/S	SERVICE SINK
FIN.FL.	FINISH FLOOR	STD.	STANDARD
F.H.C.	FIRE HOSE CABINET	STL.	STEEL
FIN.	FINISHED	STRUCT.	STRUCTURAL
F.L.	FLOW LINE	T.C.	TOP OF CURB
FLR.	FLOOR	TEL.	TELEPHONE
F.O.C.	FACE OF CONCRETE	T.O.C.	TOP OF CONCRETE
F.O.S.	FACE OF STUD	T.O.S.	TOP OF STEEL
F.O.M.	FACE OF MASONRY	T.S.	TOP OF SPANDREL
GA.	GAUGE	T.W.	TOP OF WALK, WALL
GALV.	GALVANIZED	TYP.	TYPICAL
GEN.	GENERAL	U.N.O.	UNLESS NOTED OTHERWISE
G.I.	GALVANIZED IRON	W/	WITH
GYP.	GYPNUM	W/O	WITHOUT
HT.	HEIGHT	W.C.	WATER CLOSET
H.B.	HOSE BIBB	W.S.P.	WET STANDPIPE
H.M.	HOLLOW METAL	W.W.M.	WELDED WIRE MESH
H.P.	HIGHPOINT	W.P.	WATERPROOF

DRAWING INDEX

	COVER SHEET
A1.01	GROUND FLOOR DEMOLITION PLAN
A1.02	SECOND FLOOR DEMOLITION PLAN
A2.01	GROUND FLOOR PLAN
A2.02	SECOND FLOOR PLAN
A2.03	GROUND FLOOR REFLECTED CEILING PLAN
A2.04	SECOND FLOOR REFLECTED CEILING PLAN
A2.05	GROUND FLOOR ROOM FINISH PLAN
A2.06	SECOND FLOOR ROOM FINISH PLAN
A2.07	GROUND FLOOR FLOOR FINISH PLAN
A2.08	SECOND FLOOR FLOOR FINISH PLAN
A3.01	DOOR SCHEDULE / DOOR TYPES / DOOR DETAILS
A4.01	INTERIOR ELEVATIONS / TYPICAL MOUNTING HEIGHTS
AE1.01	GROUND FLOOR ME PLAN
AE1.02	SECOND FLOOR ME PLAN

PROJECT LOCATION MAP

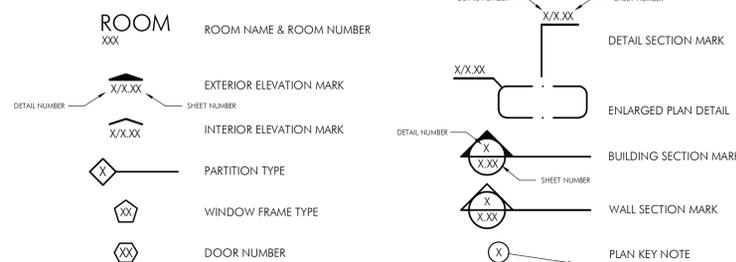


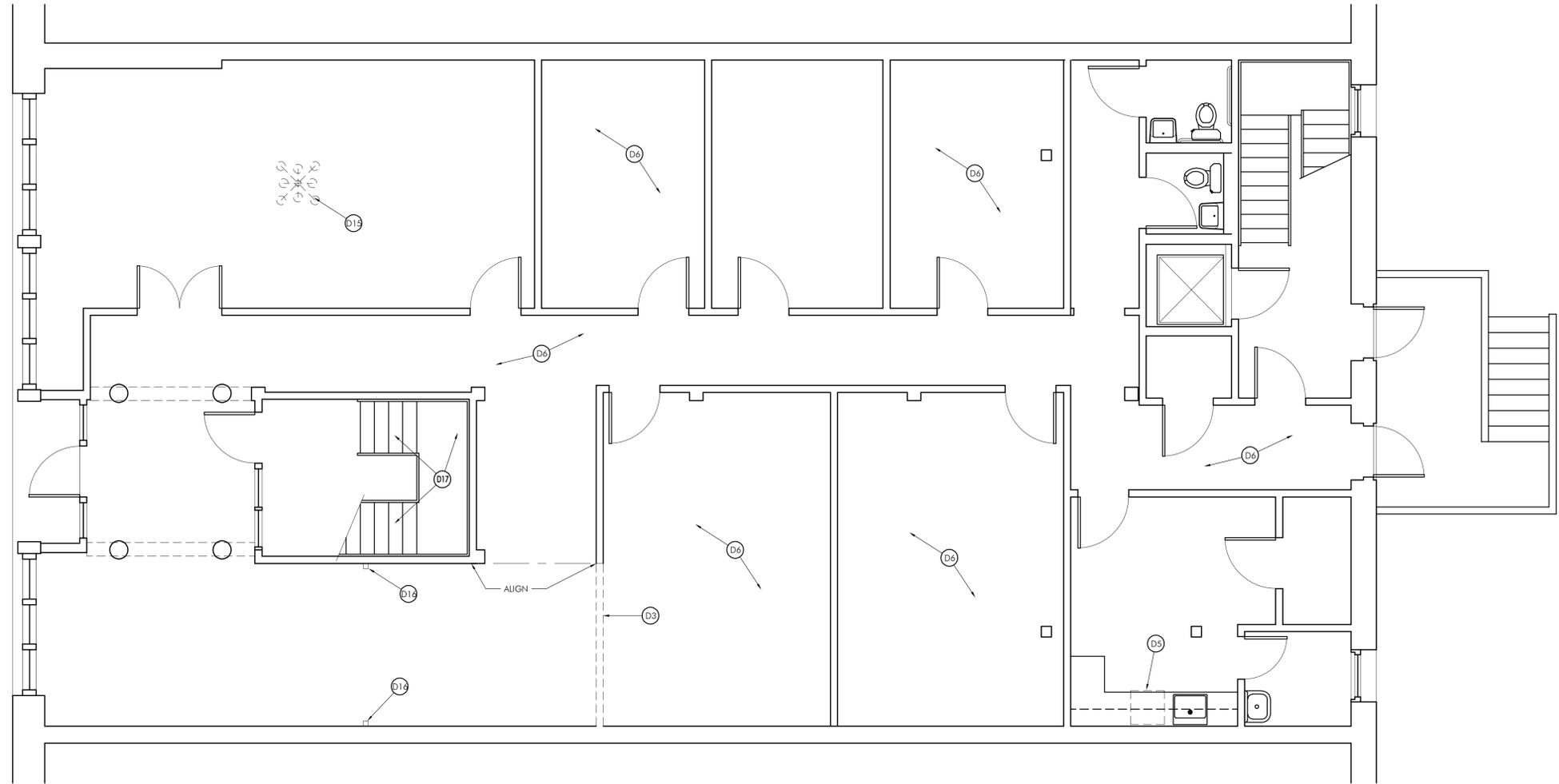
CITY COUNCIL

TABATHA H. TAYLOR - DISTRICT A
GARY BROOKS - DISTRICT B
JIM TALIAFERRO - DISTRICT C
GRAYSON BOUCHER - DISTRICT D
DR. ALAN JACKSON, JR. - DISTRICT E
JAMES GREEN - DISTRICT F
URSULA BOWMAN - DISTRICT G

SHREVEPORT PUBLIC ASSEMBLY & RECREATION
SHELLY RAGLE - DIRECTOR

DRAWING SYMBOLS





GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK WILL BE PERFORMED IN A SAFE AND ORDERLY MANNER.
2. ALL DEBRIS SHALL BE PROPERLY AND LEGALLY HAULED AND DISPOSED.
3. DEMOLITION CONTRACTOR WILL BE RESPONSIBLE FOR ALL FEES, APPLICATIONS AND LICENSES ASSOCIATED WITH DEMOLITION AND DISPOSAL.
4. OWNER SHALL MAINTAIN FIRST RIGHT OF REFUSAL ON ALL REMOVED ITEMS.
5. ALL DEMOLITION WORK SHALL BE COORDINATED WITH NEW WORK AND SHALL INCLUDE ALL NECESSARY PENETRATIONS IN WALLS AND FLOOR SLABS ASSOCIATED WITH NEW SCOPE.
6. DURING DEMOLITION ACTIVITY, EXTREME CARE SHALL BE TAKE NOT TO DAMAGE EXISTING FEATURES THAT ARE TO REMAIN INPLACE. ANY DAMAGE TO EXISTING FEATURES INTENDED TO REMAIN SHALL BE REPAIRED/REPLACED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
7. ALL DEMOLITION ACTIVITY SHALL BE COORDINATED AND SCHEDULED WITH THE BUILDING OWNER.
8. ALL DOORS AND FRAMES IDENTIFIED TO BE REMOVED SHALL BE SALVAGED FOR REUSE. THIS SCOPE SHALL ALSO INCLUDE THE SALVAGE OF ALL HARDWARE.
9. CONTRACTOR SHOULD BE AWARE OF LOAD BEARING WALL DURING DEMOLITION ACTIVITIES. PROPER BRACING SHOULD BE USED TO INSURE STRUCTURAL INTEGRITY.

DEMOLITION PLAN NOTES

- D1 REMOVE EXISTING DOOR & FRAME. SALVAGE DOOR & FRAME FOR REUSE.
- D2 REMOVE EXISTING WALL AS INDICATED.
- D3 REMOVE EXISTING PORTION OF WALL AS INDICATED. SEE FLOOR PLAN FOR NEW WORK SCOPE
- D4 REMOVE EXISTING MILLWORK. SALVAGE FOR REINSTALLATION. SEE FLOOR PLAN FOR NEW LOCATION.
- D5 REMOVE EXISTING DISHWASHER. PREP OPENING AND UTILITIES TO RECEIVE NEW ICE MAKER.
- D6 REMOVE EXISTING FLOOR FINISHES. PREP FLOOR TO RECEIVE NEW FLOOR FINISH.
- D7 REMOVE WATER DAMAGED DRYWALL AND PREP TO RECEIVE NEW DRYWALL REPAIR.
- D8 CLEAN BLACK CAULK FROM EXISTING BRICK WALL.
- D9 REMOVE EXISTING WET BAR. CAP WATER LINE AND DRAIN.
- D10 REMOVE EXISTING MILLWORK RISER. PROTECT UPPER SHELVING FROM SCHEDULED WORK.
- D11 EXISTING ELECTRICAL PANEL.
- D12 EXISTING DATA RACK TO BE REMOVED.
- D13 RELOCATE EXISTING THERMOSTAT
- D14 REMOVE EXISTING DRYWALL SOFFIT/CEILING AS NECESSARY
- D15 REMOVE EXISTING LIGHT FIXTURE. PREP TO RECEIVE NEW FIXTURE. SEE REFLECTED CEILING PLAN.
- D16 REMOVE EXISTING POWER POLE/DATA CABLING WIRE MOLD.
- D17 REMOVE EXISTING DIRECT GLUE CARPET FROM STAIR TREADS AND LANDINGS. PREP TO RECEIVE NEW CARPET.

PARTITION LEGEND

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED
-  NEW PARTITION (SHOWN ON FLOOR PLAN)

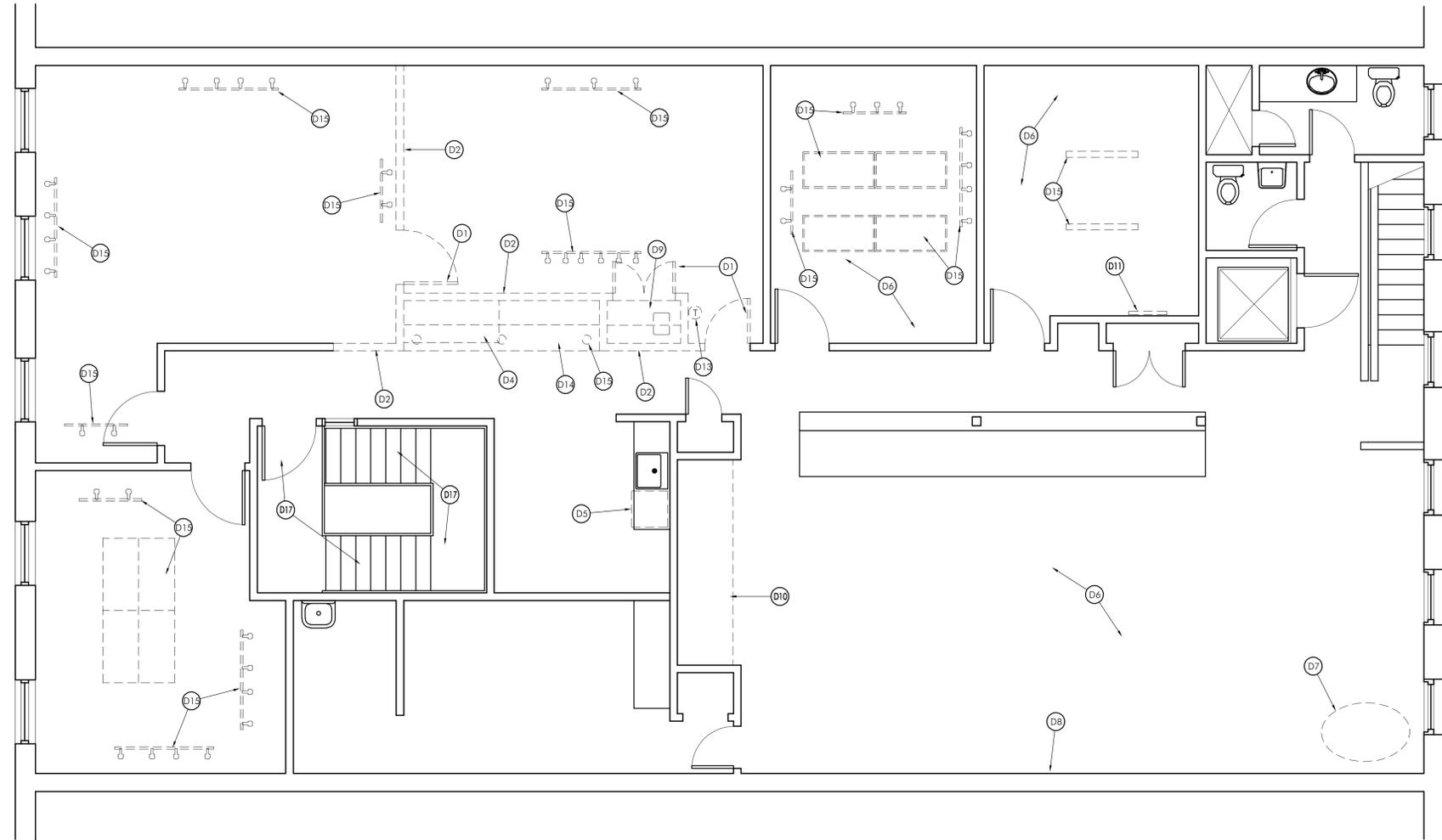
1 GROUND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:

AN OFFICE RENOVATION FOR
SPAR RECREATION & ATHLETICS
856 TEXAS AVENUE
SHREVEPORT, LOUISIANA 71101

FEBRUARY 25, 2026

A1.02



GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK WILL BE PERFORMED IN A SAFE AND ORDERLY MANNER.
2. ALL DEBRIS SHALL BE PROPERLY AND LEGALLY HAULED AND DISPOSED.
3. DEMOLITION CONTRACTOR WILL BE RESPONSIBLE FOR ALL FEES, APPLICATIONS AND LICENSES ASSOCIATED WITH DEMOLITION AND DISPOSAL.
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DEMOLITION PLAN NOTES

- (D1) REMOVE EXISTING DOOR & FRAME. SALVAGE DOOR & FRAME FOR REUSE.
- (D2) REMOVE EXISTING WALL AS INDICATED.
- (D3) REMOVE EXISTING PORTION OF WALL AS INDICATED. SEE FLOOR PLAN FOR NEW WORK SCOPE.
- (D4) REMOVE EXISTING MILLWORK. SALVAGE FOR REINSTALLATION. SEE FLOOR PLAN FOR NEW LOCATION.
- (D5) REMOVE EXISTING DISHWASHER. PREP OPENING AND UTILITIES TO RECEIVE NEW ICE MAKER.
- (D6) REMOVE EXISTING FLOOR FINISHES. PREP FLOOR TO RECEIVE NEW FLOOR FINISH.
- (D7) REMOVE WATER DAMAGED DRYWALL AND PREP TO RECEIVE NEW DRYWALL REPAIR.
- (D8) CLEAN BLACK CAULK FROM EXISTING BRICK WALL.
- (D9) REMOVE EXISTING WET BAR. CAP WATER LINE AND DRAIN.
- (D10) REMOVE EXISTING MILLWORK RISER. PROTECT UPPER SHELVING FROM SCHEDULED WORK.
- (D11) EXISTING ELECTRICAL PANEL.
- (D12) EXISTING DATA RACK TO BE REMOVED.
- (D13) RELOCATE EXISTING THERMOSTAT
- (D14) REMOVE EXISTING DRYWALL SOFFIT/CEILING AS NECESSARY
- (D15) REMOVE EXISTING LIGHT FIXTURE. PREP TO RECEIVE NEW FIXTURE. SEE REFLECTED CEILING PLAN.
- (D16) REMOVE EXISTING POWER POLE/DATA CABLING WIRE MOLD.
- (D17) REMOVE EXISTING DIRECT GLUE CARPET FROM STAIR TREADS AND LANDINGS. PREP TO RECEIVE NEW CARPET.

PARTITION LEGEND

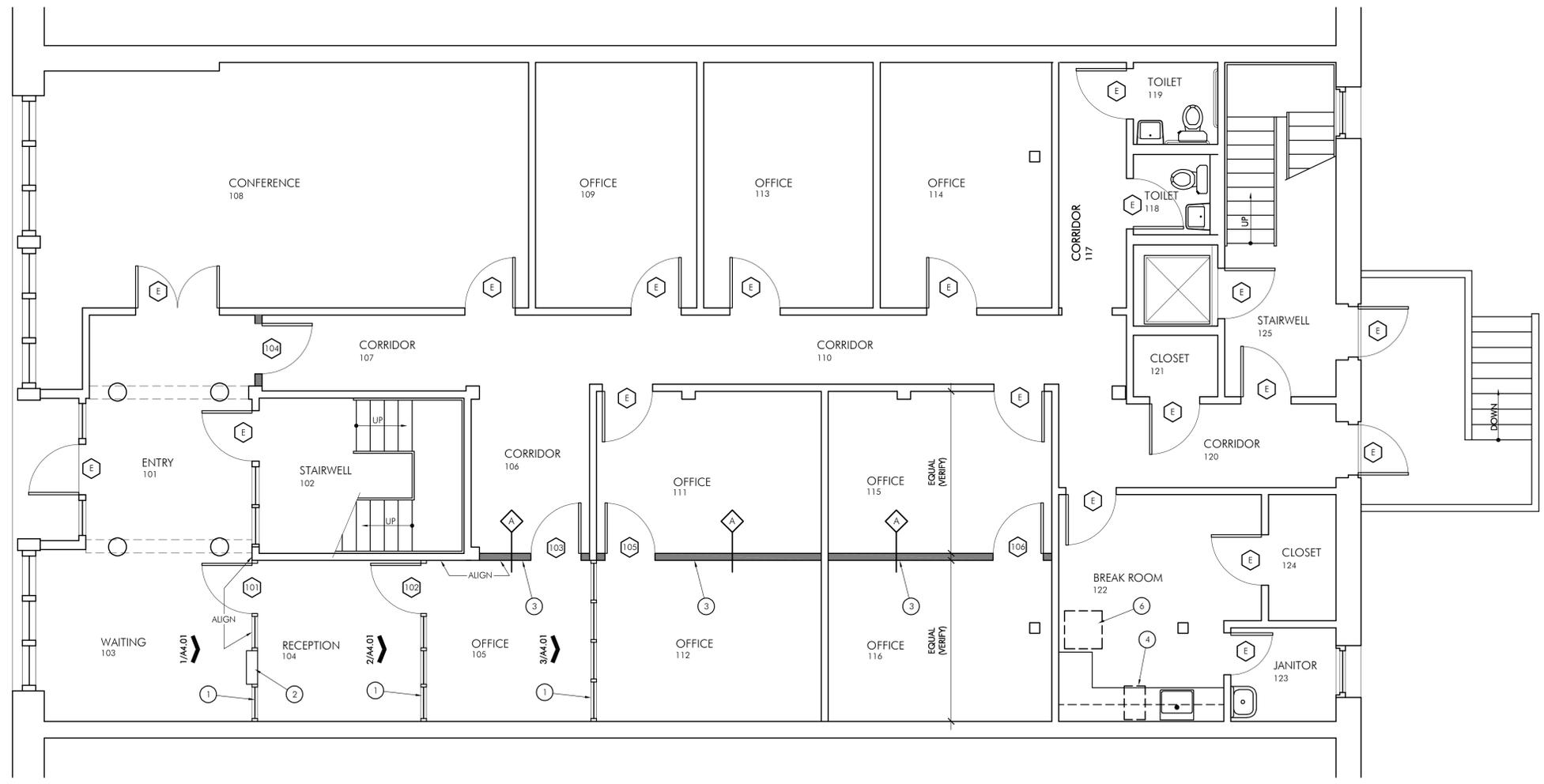
-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED
-  NEW PARTITION (SHOWN ON FLOOR PLAN)

1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

GRAPHIC SCALE WILL BE FULL SCALE UNLESS OTHERWISE PRINTED AT THE CORRECT SCALE



REVISIONS:



FLOOR PLAN GENERAL NOTES

1. FINISH SCHEDULE AND FINISH NOTES ARE SHOWN ON SHEETS A2.03 & A2.04.
2. TYPICAL MOUNTING HEIGHT STANDARDS ARE SHOWN ON SHEET A4.01.
3. DOOR SCHEDULE AND DOOR DETAILS ARE SHOWN ON SHEET A3.01.
4. DRYWALL PARTITION TYPES ARE SHOWN ON SHEET A4.01.
5. STOREFRONT DETAILS ARE SHOWN ON SHEET A3.01.

PARTITION LEGEND

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED (SHOWN OF DEMOLITION PLAN)
-  NEW PARTITION NON-FIRE RATED

FLOOR PLAN KEY NOTES

- ① NEW ALUMINUM STOREFRONT
- ② DEAL SHELF. SEE INTERIOR ELEVATION
- ③ NEW DRYWALL PARTITION, PARTITION TYPE 'A'
- ④ NEW ICE MAKER EQUAL TO ICE-O-MATIC MODEL GEMU090. RETRO FIT INTO EXISTING MILLWORK. CONNECT TO EXISTING WATER LINE. PROVIDE DRAIN PUMP.
- ⑤ PROVIDE NEW PLASTIC LAMINATE COUNTER TOP. CONTRACTOR'S OPTION TO RE-CLAD EXISTING TOP. PLASTIC LAMINATE EQUAL TO: WILSONART "LUNA NIGHT" 1854K-35 MIRAGE FINISH
- ⑥ REFRIGERATOR BY OWNER
- ⑦ REMOVE BLACK CAULK FROM BRICK WALL.
- ⑧ REPAIR HOLES IN BRICK WALL. FILL WITH COLOR MATCHING GROUT.
- Ⓜ EXISTING FIRE EXTINGUISHER & CABINET.
- Ⓝ REMOVE EXISTING PAINTED FINISH FROM DOOR. STRIP, STAIN, AND RESEAL TO MATCH EXISTING ADJACENT DOORS.

GRAPHIC SCALE WILL BE FULL SCALE UNLESS OTHERWISE NOTED AT THE CORRECT SCALE



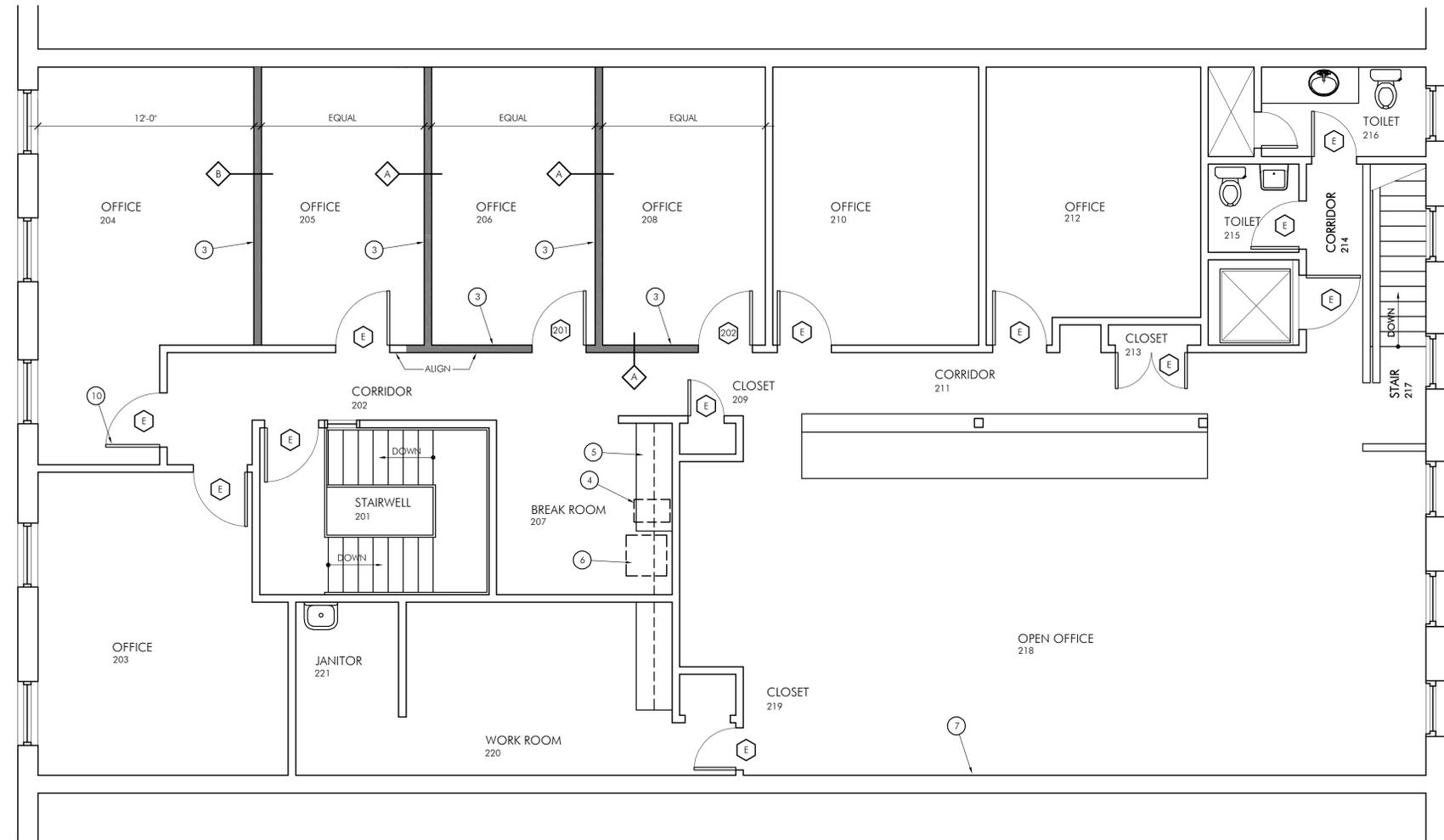
1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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FEBRUARY 25, 2026

A2.01



FLOOR PLAN GENERAL NOTES

1. FINISH SCHEDULE AND FINISH NOTES ARE SHOWN ON SHEETS A2.03 & A2.04.
2. TYPICAL MOUNTING HEIGHT STANDARDS ARE SHOWN ON SHEET A4.01.
3. DOOR SCHEDULE AND DOOR DETAILS ARE SHOWN ON SHEET A3.01.
4. DRYWALL PARTITION TYPES ARE SHOWN ON SHEET A4.01.
5. STOREFRONT DETAILS ARE SHOWN ON SHEET A3.01.

PARTITION LEGEND

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED (SHOWN OF DEMOLITION PLAN)
-  NEW PARTITION NON-FIRE RATED

FLOOR PLAN KEY NOTES

- ① NEW ALUMINUM STOREFRONT
- ② DEAL SHELF. SEE INTERIOR ELEVATION
- ③ NEW DRYWALL PARTITION, PARTITION TYPE 'A'
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- Ⓝ REMOVE EXISTING PAINTED FINISH FROM DOOR. STRIP, STAIN, AND RESEAL TO MATCH EXISTING ADJACENT DOORS.

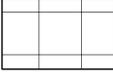
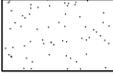
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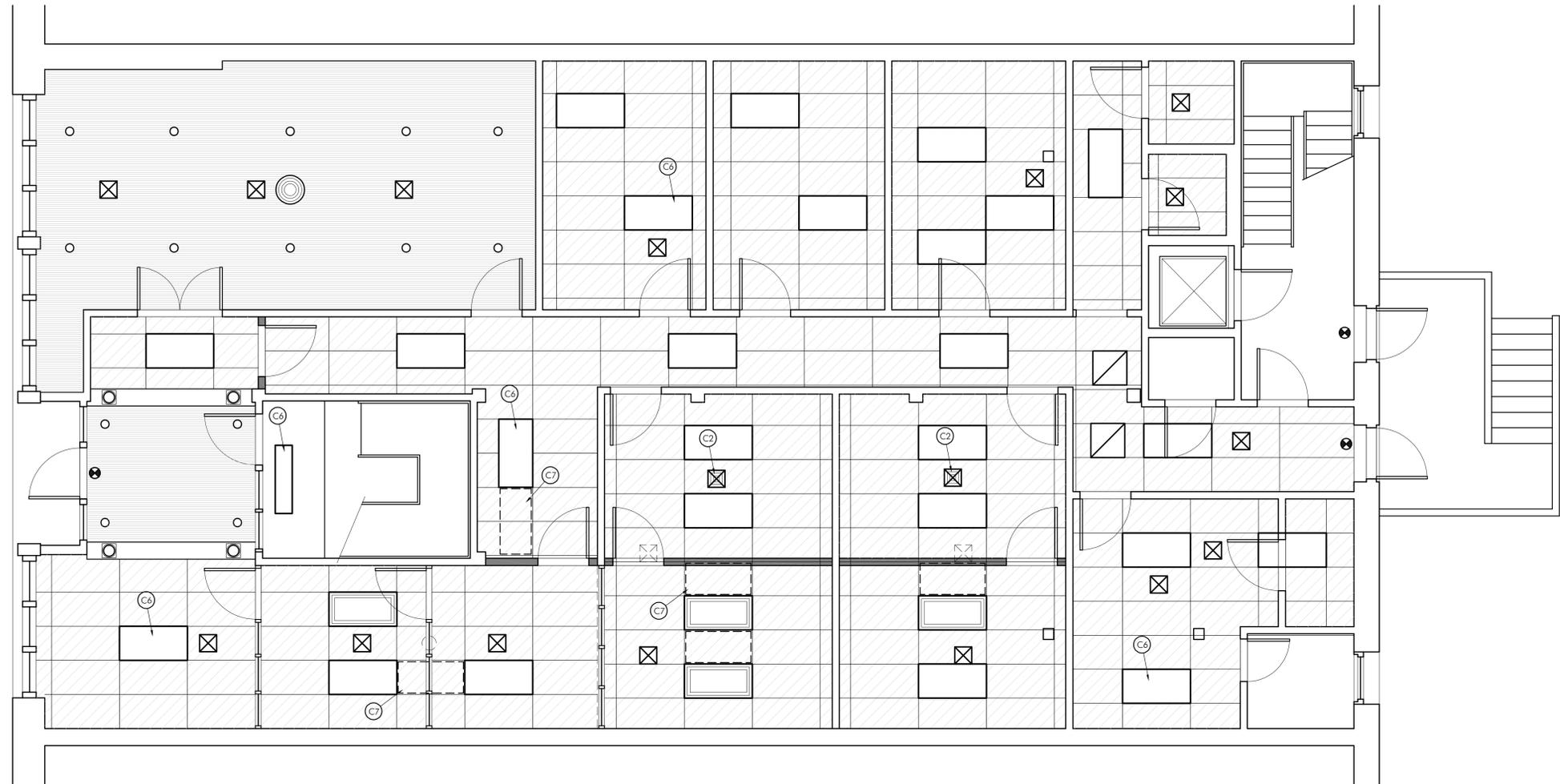
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FEBRUARY 25, 2026

A2.03

CEILING LEGEND

	EXISTING WOOD BEADED BOARD CEILING TO REMAIN AS IS
	EXISTING ACOUSTIC LAY-IN CEILING TO REMAIN AS IS
	NEW ACOUSTIC LAY-IN CEILING EQUAL TO:
	EXISTING DRYWALL CEILING PAINT FLAT WHITE
	EXISTING CEILING NO WORK SCHEDULED
	NEW PENDENT LIGHT FIXTURE FIXTURE EQUAL TO ALCON LIGHTING MODEL 12290
	EXISTING DOWNLIGHT CLEAN & RE-LAMP WITH NEW LED LAMP
	EXISTING EXIT LIGHT TO REMAIN
	EXISTING 2X4 FIXTURE TO REMAIN CLEAN & RE-LAMP WITH NEW LED LAMP
	EXISTING 1X4 FIXTURE TO REMAIN CLEAN & RE-LAMP WITH NEW LED LAMP
	EXISTING 2X4 FIXTURE TO BE RELOCATED
	RELOCATED EXISTING 2X4 FIXTURE CLEAN & RE-LAMP WITH NEW LED LAMP
	NEW SURFACE MOUNTED 2X4 LED LIGHT PANEL FIXTURE TO REPLACE THE EXISTING FIXTURE CONTRACTOR'S OPTION
	NEW LAY-IN 2X4 LED LIGHT PANEL FIXTURE CONTRACTOR'S OPTION
	RELOCATED SUPPLY AIR PROVIDE NEW REGISTER
	NEW SUPPLY AIR DUCT & REGISTER
	EXISTING SUPPLY AIR PROVIDE NEW REGISTER
	EXISTING SUPPLY AIR GRILL TO BE RELOCATED
	EXISTING RETURN AIR PROVIDE NEW FILTER GRILL



GENERAL CEILING NOTES

1. REPLACE DAMAGED CEILING PANELS TO MATCH EXISTING.
2. REPLACE/REPAIR DAMAGED CEILING GRID SUSPENSION SYSTEM WHERE EXISTING CEILING ITEM ARE REMOVED.
3. COORDINATE ALL OTHER TRADES WITH CEILING WORK TO MINIMIZE DAMAGING EXPOSURE TO OTHER WORK.
4. WHERE APPLICABLE, SUPPORT LIGHT FIXTURE WITH HANGER WIRE AT EACH CORNER.
5. PROVIDE 1 BOX OF ATTIC STOCK OF EACH TYPE OF CEILING PANEL.
7. WHERE EXISTING SUSPENDED CEILING IS REPLACED WITH NEW, INSTALL NEW SUSPENDED CEILING AT THE ORIGINAL HEIGHT.

REFLECTED CEILING PLAN NOTES

- (C1) NEW CEILING INSTALLED AT 9'-0"
- (C2) EXISTING HVAC SUPPLY AIR REGISTER TO BE RELOCATED. PROVIDE NEW GRILL.
- (C3) EXISTING HVAC SUPPLY AIR REGISTER TO REMAIN AS IS. PROVIDE NEW GRILL.
- (C4) NEW HVAC SUPPLY REGISTER. PROVIDE ALL NECESSARY DUCT WORK PROPER RE-INSTALLATION PROVIDE NEW GRILL
- (C5) RELOCATED EXISTING OR NEW LIGHT FIXTURE. PROVIDE ALL NECESSARY WIRING AND SUPPORTS FOR PROPER INSTALLATION.
- (C6) EXISTING LIGHT FIXTURE TO REMAIN AS IS. CLEAN & RE-LAMP WITH LED LAMP.
- (C7) EXISTING LIGHT FIXTURE TO BE REMOVED.
- (C8) REPAIR DAMAGE TO EXISTING WOOD GRID.
- (C9) REPLACE EXISTING FLUORESCENT STRIP FIXTURE WITH NEW LED STRIP FIXTURE.

1 GROUND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

GRAPHIC SCALE WILL BE FULL SCALE UNLESS INDICATED OTHERWISE
0 1' 2' 3'

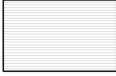
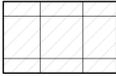
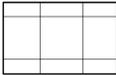
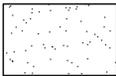
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FEBRUARY 25, 2026

A2.04

CEILING LEGEND

-  EXISTING WOOD BEADED BOARD CEILING TO REMAIN AS IS
-  EXISTING ACOUSTIC LAY-IN CEILING TO REMAIN AS IS
-  NEW ACOUSTIC LAY-IN CEILING EQUAL TO:
-  EXISTING DRYWALL CEILING PAINT FLAT WHITE
-  EXISTING WOOD GRID CEILING REPAIR DAMAGE
-  EXISTING CEILING NO WORK SCHEDULED
-  NEW PENDENT LIGHT FIXTURE FIXTURE EQUAL TO ALCON LIGHTING MODEL 12290
-  EXISTING DOWNLIGHT CLEAN & RE-LAMP WITH NEW LED LAMP
-  EXISTING WALL SCONCE CLEAN & RE-LAMP WITH NEW LED LAMP
-  EXISTING EXIT LIGHT TO REMAIN
-  EXISTING 2X4 FIXTURE TO REMAIN CLEAN & RE-LAMP WITH NEW LED LAMP
-  EXISTING 1X4 FIXTURE TO REMAIN CLEAN & RE-LAMP WITH NEW LED LAMP
-  EXISTING 2X4 FIXTURE TO BE RELOCATED
-  RELOCATED EXISTING 2X4 FIXTURE CLEAN & RE-LAMP WITH NEW LED LAMP
-  NEW SURFACE MOUNTED 2X4 LED LIGHT PANEL FIXTURE TO REPLACE THE EXISTING FIXTURE CONTRACTOR'S OPTION
-  NEW LAY-IN 2X4 LED LIGHT PANEL FIXTURE CONTRACTOR'S OPTION
-  RELOCATED SUPPLY AIR PROVIDE NEW REGISTER
-  NEW SUPPLY AIR DUCT & REGISTER
-  EXISTING SUPPLY AIR PROVIDE NEW REGISTER
-  EXISTING SUPPLY AIR GRILL TO BE RELOCATED
-  EXISTING RETURN AIR PROVIDE NEW FILTER GRILL



GENERAL CEILING NOTES

1. REPLACE DAMAGED CEILING PANELS TO MATCH EXISTING.
2. REPLACE/REPAIR DAMAGED CEILING GRID SUSPENSION SYSTEM WHERE EXISTING CEILING ITEM ARE REMOVED.
3. COORDINATE ALL OTHER TRADES WITH CEILING WORK TO MINIMIZE DAMAGING EXPOSURE TO OTHER WORK.
4. WHERE APPLICABLE, SUPPORT LIGHT FIXTURE WITH HANGER WIRE AT EACH CORNER.
5. PROVIDE 1 BOX OF ATTIC STOCK OF EACH TYPE OF CEILING PANEL.
7. WHERE EXISTING SUSPENDED CEILING IS REPLACED WITH NEW, INSTALL NEW SUSPENDED CEILING AT THE ORIGINAL HEIGHT.

REFLECTED CEILING PLAN NOTES

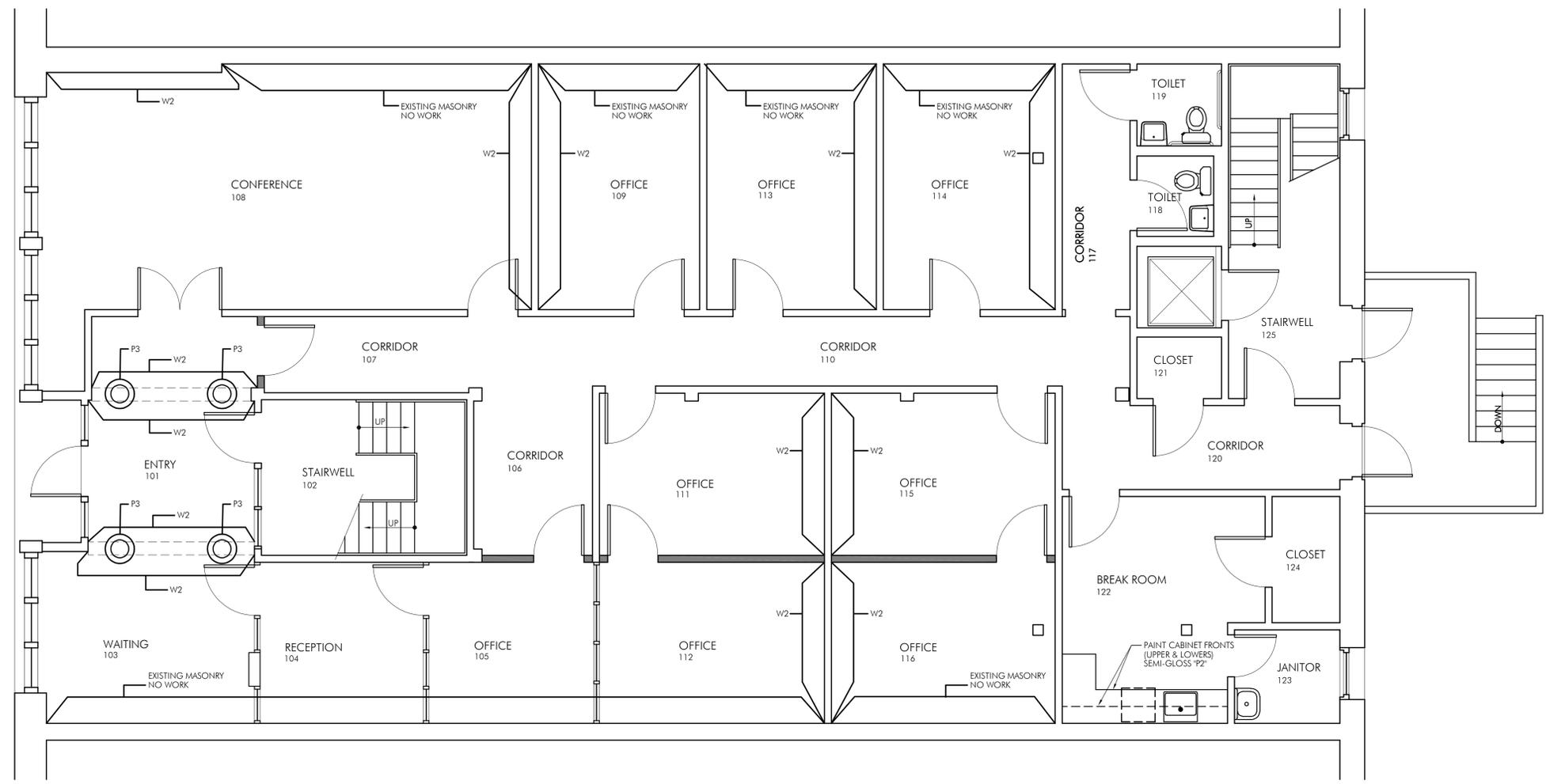
- (C1) NEW CEILING INSTALLED AT 9'-0"
- (C2) EXISTING HVAC SUPPLY AIR REGISTER TO BE RELOCATED. PROVIDE NEW GRILL.
- (C3) EXISTING HVAC SUPPLY AIR REGISTER TO REMAIN AS IS. PROVIDE NEW GRILL.
- (C4) NEW HVAC SUPPLY REGISTER. PROVIDE ALL NECESSARY DUCT WORK PROPER RE-INSTALLATION PROVIDE NEW GRILL.
- (C5) RELOCATED EXISTING OR NEW LIGHT FIXTURE. PROVIDE ALL NECESSARY WIRING AND SUPPORTS FOR PROPER INSTALLATION.
- (C6) EXISTING LIGHT FIXTURE TO REMAIN AS IS. CLEAN & RE-LAMP WITH LED LAMP.
- (C7) EXISTING LIGHT FIXTURE TO BE REMOVED.
- (C8) REPAIR DAMAGE TO EXISTING WOOD GRID.
- (C9) REPLACE EXISTING FLUORESCENT STRIP FIXTURE WITH NEW LED STRIP FIXTURE.

1 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

GRAPHIC SCALE: FULL SCALE WHEN DRAWING IS PRINTED AT THE CORRECT SCALE



REVISIONS:



FINISH SCHEDULE

ROOM NAMES	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	REMARKS
GROUND FLOOR					
ENTRY 101	●	●	●	●	
STAIRWELL 102	●	●	●	●	
WAITING 103	●	●	●	●	
RECEPTION 104	●	●	●	●	
OFFICE 105	●	●	●	●	
CORRIDOR 106	●	●	●	●	
CORRIDOR 107	●	●	●	●	
CONFERENCE 108	●	●	●	●	
OFFICE 109	●	●	●	●	
CORRIDOR 110	●	●	●	●	
OFFICE 111	●	●	●	●	
OFFICE 112	●	●	●	●	
OFFICE 113	●	●	●	●	
OFFICE 114	●	●	●	●	
OFFICE 115	●	●	●	●	
OFFICE 116	●	●	●	●	
CORRIDOR 117	●	●	●	●	
TOILET 118	●	●	●	●	
TOILET 119	●	●	●	●	
CORRIDOR 120	●	●	●	●	
CLOSET 121	●	●	●	●	
BREAK ROOM 122	●	●	●	●	
JANITOR 123	●	●	●	●	
CLOSET 124	●	●	●	●	
STAIRWELL 125	●	●	●	●	

MATERIALS LEGEND

MARK	DESCRIPTION	SPECIFICATION
FLOOR FINISHES		
F1	CARPET	DIRECT GLUE CARPET EQUAL TO PHILADELPHIA MAINSTREET, FRANCHISE 11 26, COLOR: 00500 GRANITE
F2	LVT	PATCRAFT TIMBER GROVE II, LUXURY VINYL TILE, HEMLOCK 00572 - V2, 20 MILL STAGGERED INSTALLATION
F3	EXISTING	EXISTING FLOOR FINISH TO REMAIN AS IS.
BASE FINISHES		
B1	WOOD	NEW WOOD BASE TO MATCH EXISTING ADJACENT WOOD BASE. FIELD VERIFY PROFILE. PAINT SEMI-GLOSS COLOR 'P3'
B2	WOOD	EXISTING WOOD BASE. PAINT SEMI-GLOSS 'P3'
WALL FINISHES		
W1	PAINT	PAINT COLOR EQUAL TO SHERWIN WILLIAMS #SW7035 'AESTHETIC WHITE, EGGHELL FINISH, ORANGE PEEL TEXTURE.
W2	PAINT	PAINT COLOR EQUAL TO SHERWIN WILLIAMS #SW7038 'TONY TAUPE', EGGHELL FINISH, ORANGE PEEL TEXTURE.
W3	PAINT	PAINT COLOR EQUAL TO SHERWIN WILLIAMS #SW7040 'SMOKEHOUSE', EGGHELL FINISH, ORANGE PEEL TEXTURE.
CEILING FINISH		
C1	ACOUSTIC	2'X2' CEILING PANEL EQUAL TO ARMSTRONG 'SCHOOL ZONE FINE FISSURED' #1713. SQUARE LAY-IN.
C2	EXISTING	EXISTING CEILING PANELS TO REMAIN. REPLACE ALL DAMAGED PANELS WITH NEW MATCHING PANELS.
C3	EXISTING	EXISTING DRYWALL CEILING. PAINT FLAT COLOR 'P3'.
C4	EXISTING	EXISTING BEADED BOARD CEILING. PAINT SEMI-GLOSS COLOR 'P3'.
PLASTIC LAMINATE FINISHES		
PL1	PLAS LAM	PLASTIC LAMINATE EQUAL TO WILSONART #1854K-35 'LUNA NIGHT', MIRAGE FINISH (MILLWORK COUNTER TOPS)
PAINT COLORS		
P1	PAINT	PAINT COLOR EQUAL TO SHERWIN WILLIAMS #SW6990 'CAVIAR'
P2	PAINT	PAINT COLOR EQUAL TO SHERWIN WILLIAMS #SW7037 'BALANCED BEIGE'
P3	PAINT	PAINT COLOR EQUAL TO SHERWIN WILLIAMS #SW7000 'BIS WHITE'

1 GROUND FLOOR ROOM FINISH PLAN
SCALE: 1/4" = 1'-0"

FINISH NOTES

1. THE ARCHITECT IS TO MAKE FINAL DECISIONS ON ALL FINISH SELECTIONS.
2. ALL WALLS SCHEDULED AS 'TEXTURE & PAINT' SHALL BE PAINTED WALL FINISH W1 UNLESS NOTED OTHERWISE ON FINISH PLAN.
3. WALL TEXTURE SHALL BE 'ORANGE PEEL TEXTURE' UNLESS NOTED OTHERWISE ON FINISH PLAN.
4. SEE FINISH PLAN FOR EXTENT AND LOCATIONS OF THE WALL FINISHES & FLOOR FINISHES.
5. ALL WOOD DOORS TO BE FIELD OR FACTORY FINISHED. NEW WOOD DOOR VENEER SHALL MATCH EXISTING DOORS SPECIES, CUT AND STAIN.
6. ALL HOLLOW METAL DOOR FRAMES ARE TO BE PAINTED AS SCHEDULED.
7. UNDERCUT ALL DOOR TO ALLOW PROPER CLEARANCE OVER SCHEDULED FLOOR FINISH AND RETURN AIR FLOW.
8. PROVIDE SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.

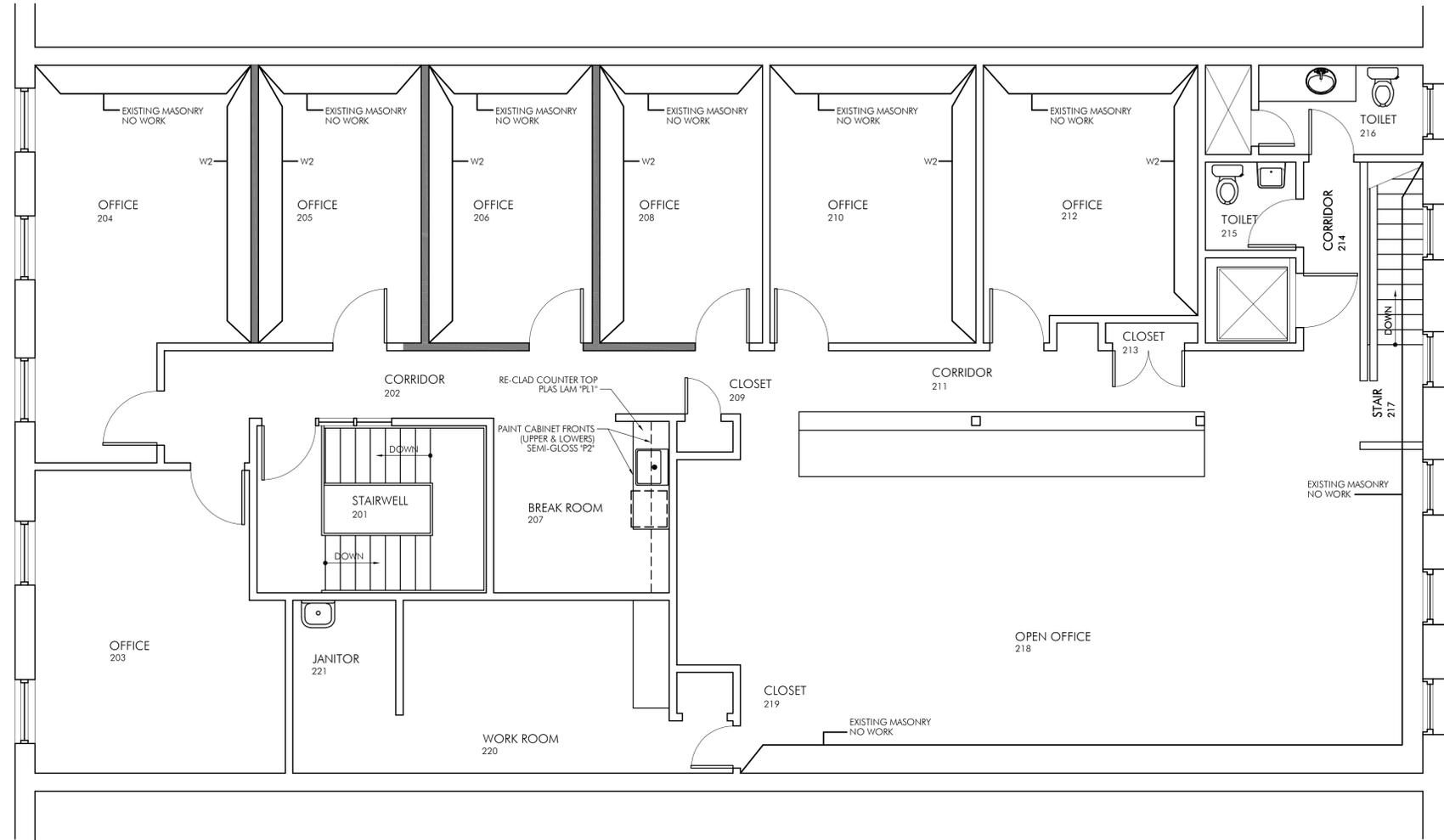
MATERIALS FINISH SCHEDULE

ITEM	FINISH
DOOR HARDWARE	MATCH EXISTING
CABINET HARDWARE	OIL RUBBED BRONZE - BHMA #613 (L510B)
NEW & EXISTING HOLLOW METAL FRAMES	PAINT SEMI-GLOSS COLOR 'P1'
WOOD VENEER DOORS	FIELD OR FACTORY FINISH TO MATCH EXISTING WOOD VENEER DOOR.
ALUMINUM FRAMES	ANODIZED DARK BRONZE
NEW AND EXISTING WOOD BASE	PAINT SEMI-GLOSS COLOR 'P3'
EXISTING DRYWALL CEILINGS	PAINT FLAT COLOR 'P3'



GRAPHIC SCALE WILL BE FULL SCALE UNLESS INDICATED OTHERWISE IN THE CORRECT SCALE

REVISIONS:



FINISH SCHEDULE

ROOM NAMES	FLOOR FINISH CARPET - F1	LVT FLOOR FINISH EXISTING FLOOR FINISH TO REMAIN - F3	WALL FINISH MEDIUM WOOD BASE TO MATCH EXISTING - B1	WALL FINISH PAINT SEMI-GLOSS TO MATCH EXISTING - B2	WALL FINISH NO SCHEDULED WORK	WALL FINISH PAINT EGG-SHELL LATEX	WALL FINISH NO SCHEDULED WORK	CEILING FINISH 2'X2' ACOUSTIC CEILING - C1	CEILING FINISH EXISTING ACOUSTIC CEILING - C2	CEILING FINISH EXISTING BEADED BOARD CEILING - C4	REMARKS
STAIRWELL 201											
CORRIDOR 202											
OFFICE 203											
OFFICE 204											
OFFICE 205											
OFFICE 206											
BREAK ROOM 207											
OFFICE 208											
CLOSET 209											
OFFICE 210											
CORRIDOR 211											
OFFICE 212											
CLOSET 213											
CORRIDOR 214											
TOILET 215											
TOILET 216											
STAIR 217											
OPEN OFFICE 218											WOOD GRID AT CEILING
CLOSET 219											
WORKROOM 220											
JANITOR 221											

MATERIALS LEGEND

MARK	DESCRIPTION	SPECIFICATION
FLOOR FINISHES		
F1	CARPET	DIRECT GLUE CARPET EQUAL TO PHILADELPHIA MAINSTREET, FRANCHISE 11 26, COLOR: 00500 GRANITE
F2	LVT	PATCRAFT TIMBER GROVE II, LUXURY VINYL TILE, HEMLOCK 00572 - V2, 20 MILL STAGGERED INSTALLATION
F3	EXISTING	EXISTING FLOOR FINISH TO REMAIN AS IS.
BASE FINISHES		
B1	WOOD	NEW WOOD BASE TO MATCH EXISTING ADJACENT WOOD BASE. FIELD VERIFY PROFILE. PAINT SEMI-GLOSS COLOR 'P3'
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C2	EXISTING	EXISTING CEILING PANELS TO REMAIN. REPLACE ALL DAMAGED PANELS WITH NEW MATCHING PANELS.
C3	EXISTING	EXISTING DRYWALL CEILING. PAINT FLAT COLOR 'P3'.
C4	EXISTING	EXISTING BEADED BOARD CEILING. PAINT SEMI-GLOSS COLOR 'P3'.
PLASTIC LAMINATE FINISHES		
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P3	PAINT	PAINT COLOR EQUAL TO SHERWIN WILLIAMS #SW7000 'BIS WHITE'

1 SECOND FLOOR ROOM FINISH PLAN
SCALE: 1/4" = 1'-0"

FINISH NOTES

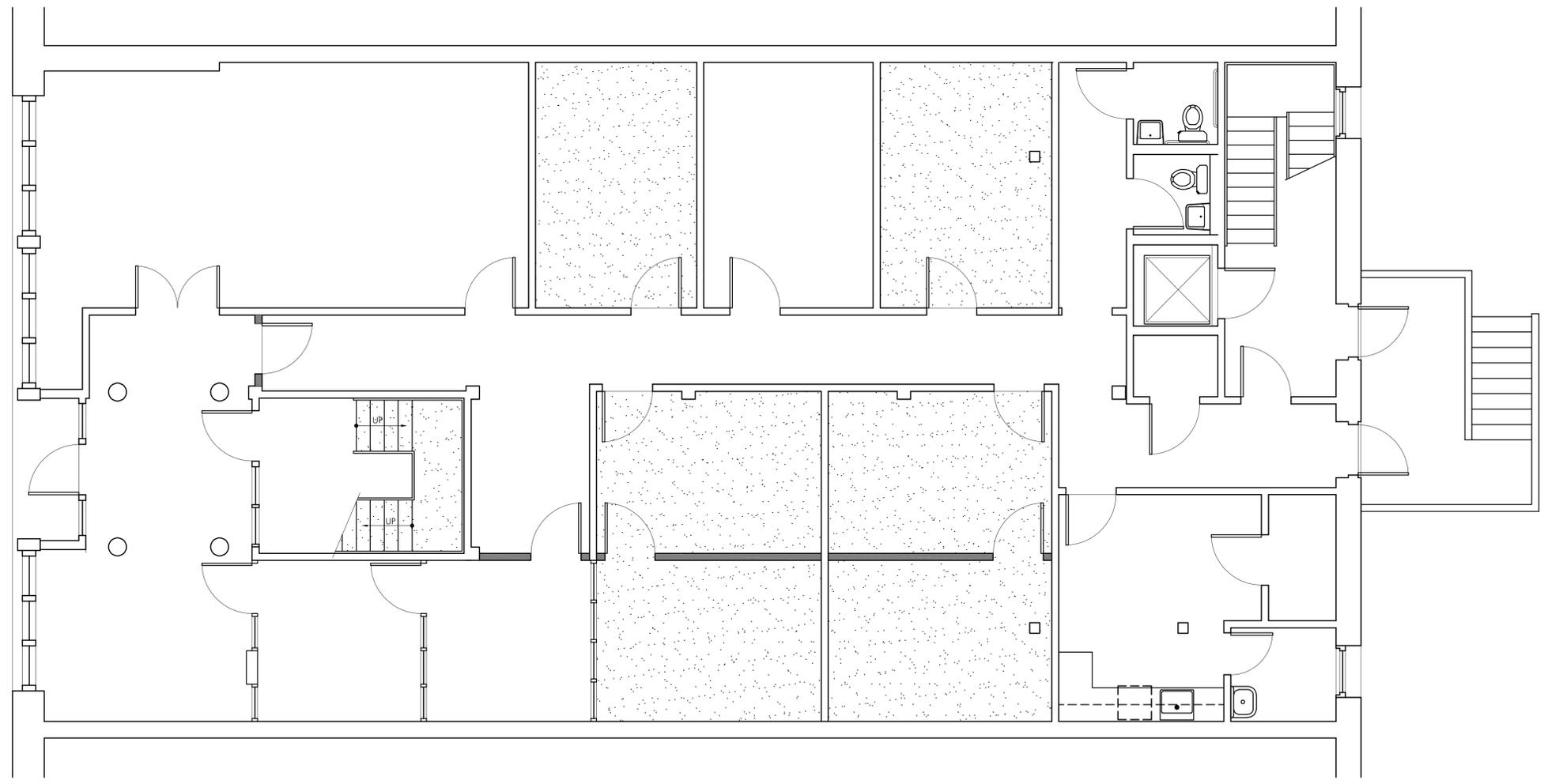
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6. ALL HOLLOW METAL DOOR FRAMES ARE TO BE PAINTED AS SCHEDULED.
7. UNDERCUT ALL DOOR TO ALLOW PROPER CLEARANCE OVER SCHEDULED FLOOR FINISH AND RETURN AIR FLOW.
8. PROVIDE SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.

MATERIALS FINISH SCHEDULE

ITEM	FINISH
DOOR HARDWARE	MATCH EXISTING
CABINET HARDWARE	OIL RUBBED BRONZE - BHMA #613 (L510B)
NEW & EXISTING HOLLOW METAL FRAMES	PAINT SEMI-GLOSS COLOR 'P1'
WOOD VENEER DOORS	FIELD OR FACTORY FINISH TO MATCH EXISTING WOOD VENEER DOOR.
ALUMINUM FRAMES	ANODIZED DARK BRONZE
NEW AND EXISTING WOOD BASE	PAINT SEMI-GLOSS COLOR 'P3'
EXISTING DRYWALL CEILINGS	PAINT FLAT COLOR 'P3'

GRAPHIC SCALE WILL BE FULL SCALE UNLESS INDICATED OTHERWISE IN THE CORRECT SCALE

REVISIONS:



FLOOR FINISH LEGEND

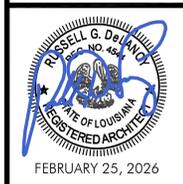
- 
 EXISTING FLOOR FINISH TO REMAIN AS IS
 NO SCHEDULED FLOORING WORK
- 
 DIRECT GLUE CARPET
- 
 LUXURY VINYL FLOOR PLANKS
 FLOOR FINISH TYPE 'F4'

FLOOR FINISH NOTES

1. ALL FLOOR FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
2. VERIFY SUBSTRATE CONDITIONS PRIOR TO INSTALLATION. DO NOT INSTALL FLOORING ON IMPROPERLY PREPARED SUBSTRATES.
3. THE OWNER IS TO MAKE FINAL DECISIONS ON ALL FLOOR FINISH SELECTIONS, INCLUDING STYLE AND COLORS.
4. CLEAN, SEAL AND WAX ALL VCT FLOORING.
5. CLEAN AND SEAL ALL CERAMIC TILE FLOORING.
6. PROVIDE SAMPLES OF ALL FLOORING AND BASE MATERIALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
7. PROVIDE FLOOR FINISH TRANSITIONS AT CHANGES IN MATERIAL. FOR FLOOR TRANSITION DETAILS, REFER TO SHEET A7.01.
8. FOR WALL BASE DETAILS, REFER TO SHEET A7.02.
9. PROTECT FINISHED FLOORING FROM DAMAGE DURING CONSTRUCTION. REPLACE DAMAGED MATERIALS PRIOR TO SUBSTANTIAL COMPLETION.
10. FLOOR FINISHES SHALL COMPLY WITH ADA REQUIREMENTS FOR CHANGE IN LEVEL, SLIP RESISTANCE, AND ACCESSIBILITY TRANSITIONS.

1 GROUND FLOOR FLOOR FINISH PLAN
 SCALE: 1/4" = 1'-0"

AN OFFICE RENOVATION FOR
SPAR RECREATION & ATHLETICS
 856 TEXAS AVENUE
 SHREVEPORT, LOUISIANA 71101

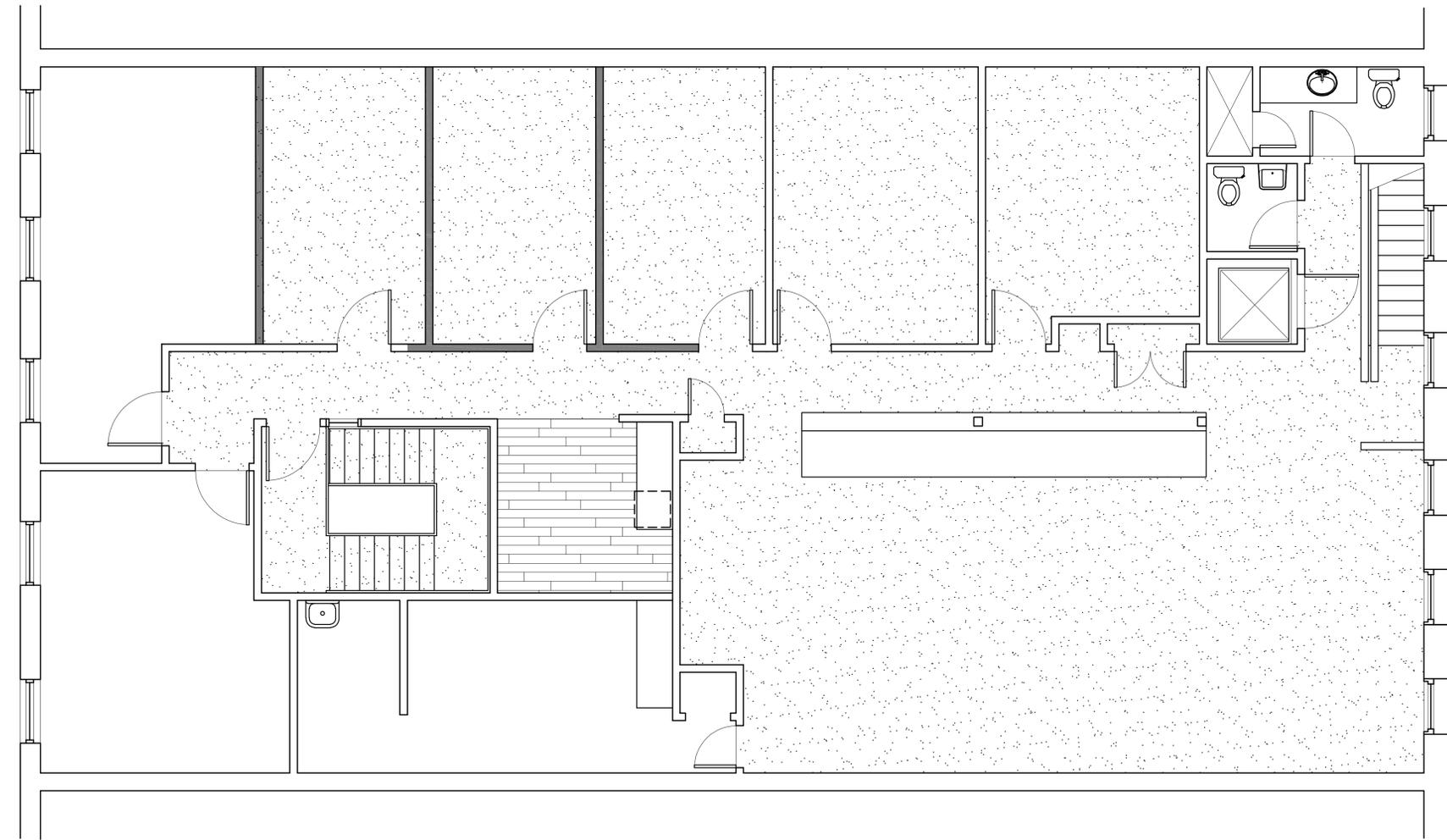


FEBRUARY 25, 2026

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GRAPHIC SCALE: FULL SCALE WHEN DRAWING IS PRINTED AT THE CORRECT SCALE

REVISIONS:



FLOOR FINISH LEGEND

-  EXISTING FLOOR FINISH TO REMAIN AS IS
NO SCHEDULED FLOORING WORK
-  DIRECT GLUE CARPET
-  LUXURY VINYL FLOOR PLANKS
FLOOR FINISH TYPE "F4"

FLOOR FINISH NOTES

1. ALL FLOOR FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
2. VERIFY SUBSTRATE CONDITIONS PRIOR TO INSTALLATION. DO NOT INSTALL FLOORING ON IMPROPERLY PREPARED SUBSTRATES.
3. THE OWNER IS TO MAKE FINAL DECISIONS ON ALL FLOOR FINISH SELECTIONS, INCLUDING STYLE AND COLORS.
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5. CLEAN AND SEAL ALL CERAMIC TILE FLOORING.
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9. PROTECT FINISHED FLOORING FROM DAMAGE DURING CONSTRUCTION. REPLACE DAMAGED MATERIALS PRIOR TO SUBSTANTIAL COMPLETION.
10. FLOOR FINISHES SHALL COMPLY WITH ADA REQUIREMENTS FOR CHANGE IN LEVEL, SLIP RESISTANCE, AND ACCESSIBILITY TRANSITIONS.

1 SECOND FLOOR FLOOR FINISH PLAN
 SCALE: 1/4" = 1'-0"

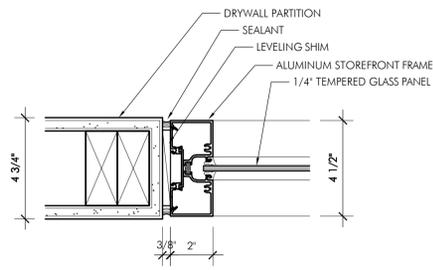
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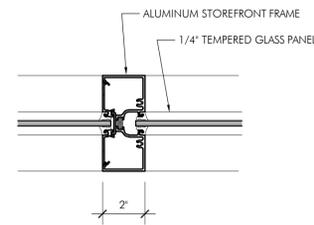
FEBRUARY 25, 2026

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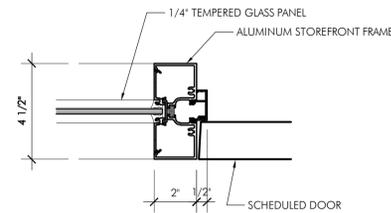
GRAPHIC SCALE WILL BE FULL SCALE UNLESS INDICATED OTHERWISE
 0 1' 2' 3'



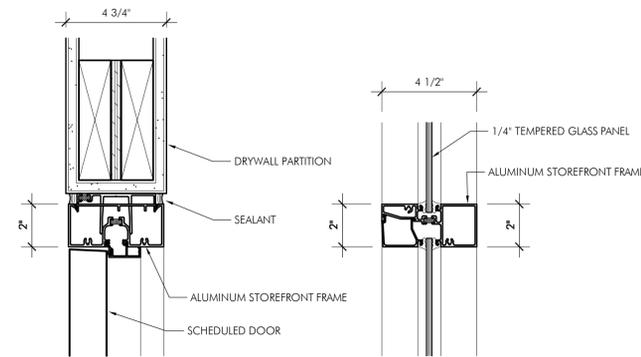
1 STOREFRONT DETAIL
SCALE: 3" = 1'-0"



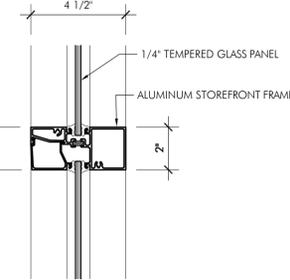
2 STOREFRONT DETAIL
SCALE: 3" = 1'-0"



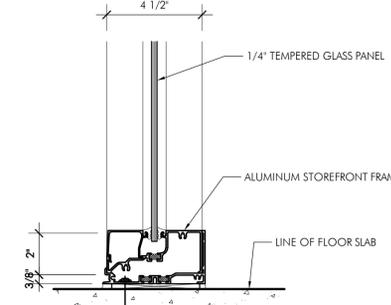
3 STOREFRONT DETAIL
SCALE: 3" = 1'-0"



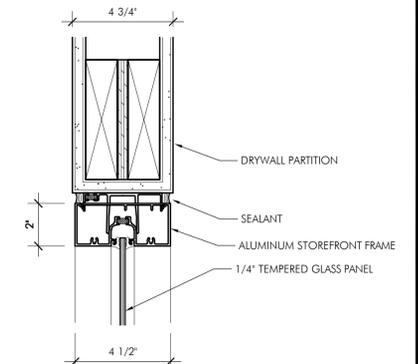
4 STOREFRONT DETAIL
SCALE: 3" = 1'-0"



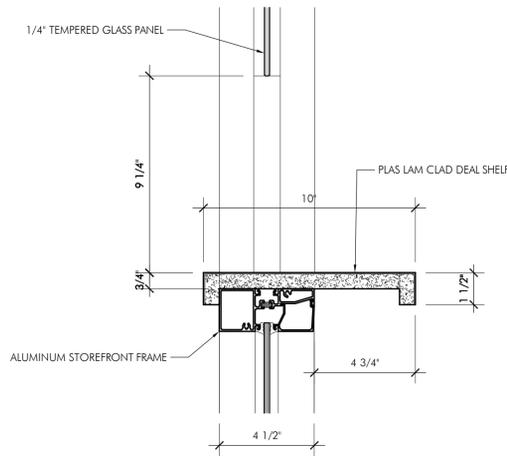
5 STOREFRONT DETAIL
SCALE: 3" = 1'-0"



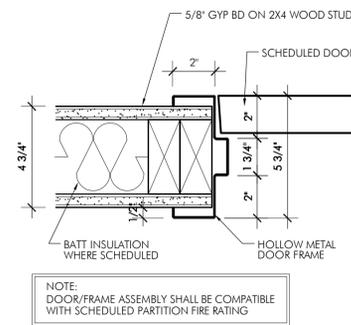
6 STOREFRONT DETAIL
SCALE: 3" = 1'-0"



7 STOREFRONT DETAIL
SCALE: 3" = 1'-0"

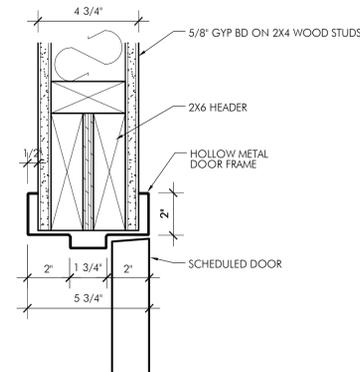


8 DOOR DETAIL
SCALE: 3" = 1'-0"



9 DOOR DETAIL
SCALE: 3" = 1'-0"

NOTE:
DOOR/FRAME ASSEMBLY SHALL BE COMPATIBLE
WITH SCHEDULED PARTITION FIRE RATING



10 DOOR DETAIL
SCALE: 3" = 1'-0"

DOOR SCHEDULE						
MARK	OPENING SIZE	DOOR TYPE	HDWR TYPE	JAMB	HEAD	REMARKS
101	3'-0" X 7'-0" X 1 3/4"	A	HD1	3/A3.01	4/A3.01	ALUMINUM STOREFRONT DOOR & FRAME
102	3'-0" X 7'-0" X 1 3/4"	A	HD1	3/A3.01	4/A3.01	ALUMINUM STOREFRONT DOOR & FRAME
103	3'-0" X 7'-0" X 1 3/4"	B	HD3	9/A3.01	10/A3.01	
104	3'-0" X 7'-0" X 1 3/4"	B	HD4	9/A3.01	10/A3.01	
105	3'-0" X 7'-0" X 1 3/4"	B	HD3	9/A3.01	10/A3.01	
106	3'-0" X 7'-0" X 1 3/4"	B	HD3	9/A3.01	10/A3.01	
201	3'-0" X 7'-0" X 1 3/4"	C	HD2	9/A3.01	10/A3.01	
202	3'-0" X 7'-0" X 1 3/4"	C	HD2	9/A3.01	10/A3.01	
E	EXISTING DOOR	--	--	--	--	NO SCHEDULED WORK

DOOR HARDWARE SCHEDULE
SOME HARDWARE TYPES MIGHT NOT BE USED.

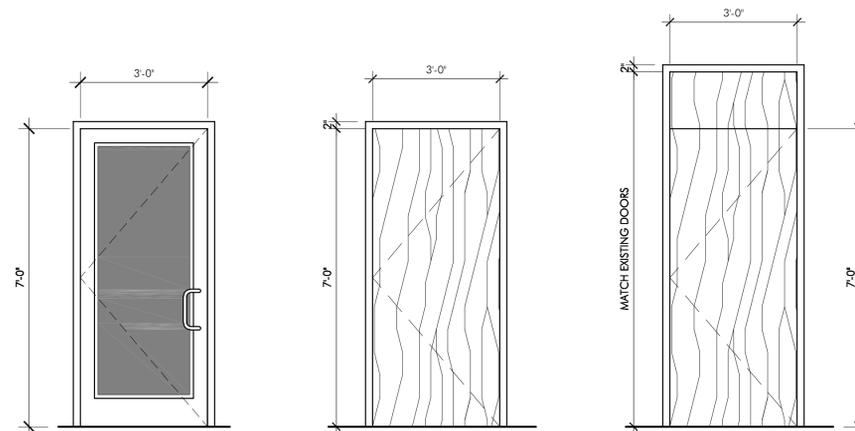
- HD1 - LOCKSET, BUTT HINGES, ELECTRIC STRIKE, CLOSER, FLOOR STOPS & SILENCERS. COORDINATE INSTALLATION OF ELECTRIC STRIKE W/ OWNER SUPPLIED AND INSTALLED CARD READER HARDWARE.
- HD2 - LOCKSET, BUTT HINGES, FLOOR STOPS & SILENCERS.
- HD3 - PASSAGE SET, BUTT HINGES, FLOOR STOPS & SILENCERS.
- HD4 - LOCKSET, BUTT HINGES, CLOSER, FLOOR STOPS & SILENCERS.

DOOR & HARDWARE NOTES

- UNDER CUT ALL DOORS MAXIMUM 1" TO ALLOW FOR RETURN AIR FLOW.
- SUBMIT PRODUCT DATA FOR DOORS & FRAMES FOR FINAL APPROVAL.
- SUBMIT PRODUCT DATA FOR ALL HARDWARE FOR FINAL APPROVAL.
- FOR ADA COMPLIANCE ALL DOOR CLOSERS SHALL HAVE AN OPENING FORCE NO GREATER THAN 5 POUNDS AND A CLOSING SPEED FROM 90° TO 12° OF NOT LESS THAN 5 SECONDS.

DOOR HARDWARE SPECIFICATION
SOME HARDWARE ITEMS MIGHT NOT BE USED. SEE DOOR HARDWARE SCHEDULE.

- LOCKSET: SCHLAGE AL SERIES LOCKSET
- LEVER SET STYLE: SCHLAGE JUPITER (JUP)
- PUSH/PULL SET: TRIMCO STRAIGHT 10" GRIP PULL W/ 4" X 16" PUSH PLATE
- BUTT HINGES: HAGER FULL MORTISE, 5 KNUCKLE, HEAVY WEIGHT
- DEAD BOLT: SCHLAGE B500 KEYED EXTERIOR, THUMB TURN INTERIOR
- CLOSER: LCN 4040XP SERIES, SURFACE MOUNTED
- WEATHERSTRIPPING: PEMKO 296_PK STANDARD PERIMETER GASLETING
- KICK-DOWN HOLDER: TRIMCO 1221-4 KICKDOWN HOLDER
- FLUSH BOLTS: TRIMCO 3915 MANUAL FLUSH BOLTS, TOP & BOTTOM
- DUST PROOF STRIKE: TRIMCO 3910 DUST PROOF STRIKE
- FLOOR STOP: TRIMCO 1211 SERIES UNIVERSAL DOOR STOP
- SILENCERS: TRIMCO 1229A
- HARDWARE FINISH: MATCH EXISTING FINISH. (BRUSHED SATIN CHROME)



DOOR TYPE "A"
ALUMINUM & GLASS STOREFRONT DOOR
CLEAR TEMPERED GLASS
ANODIZED BRONZE FRAME

DOOR TYPE "B"
SOLID CORE WOOD DOOR
PREFINISHED WOOD VENEER
HOLLOW METAL FRAME

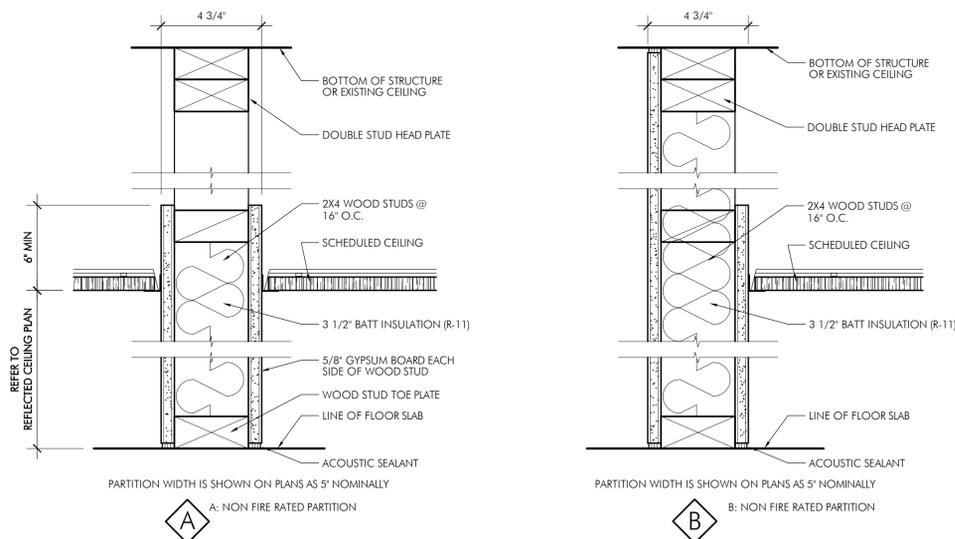
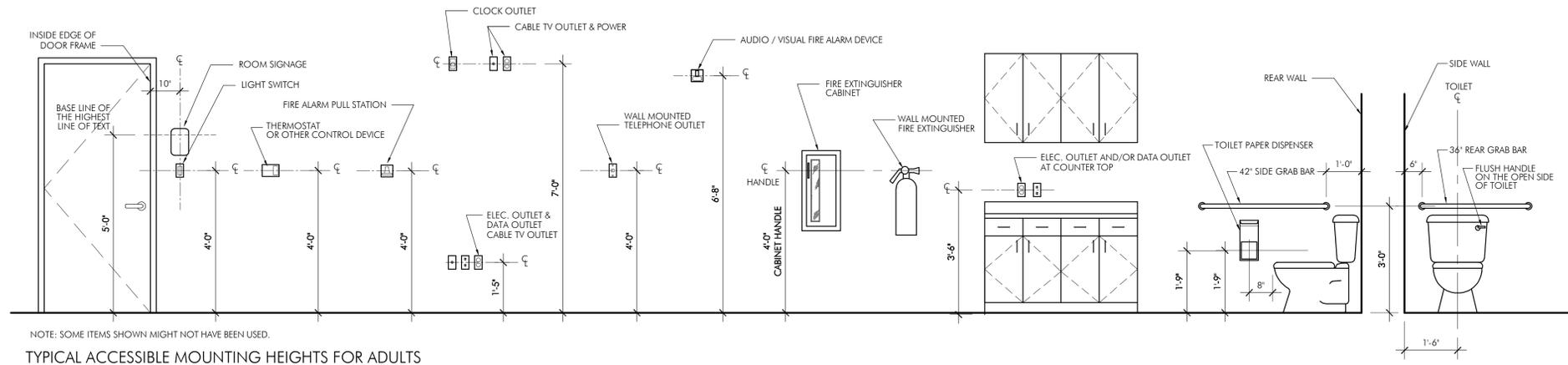
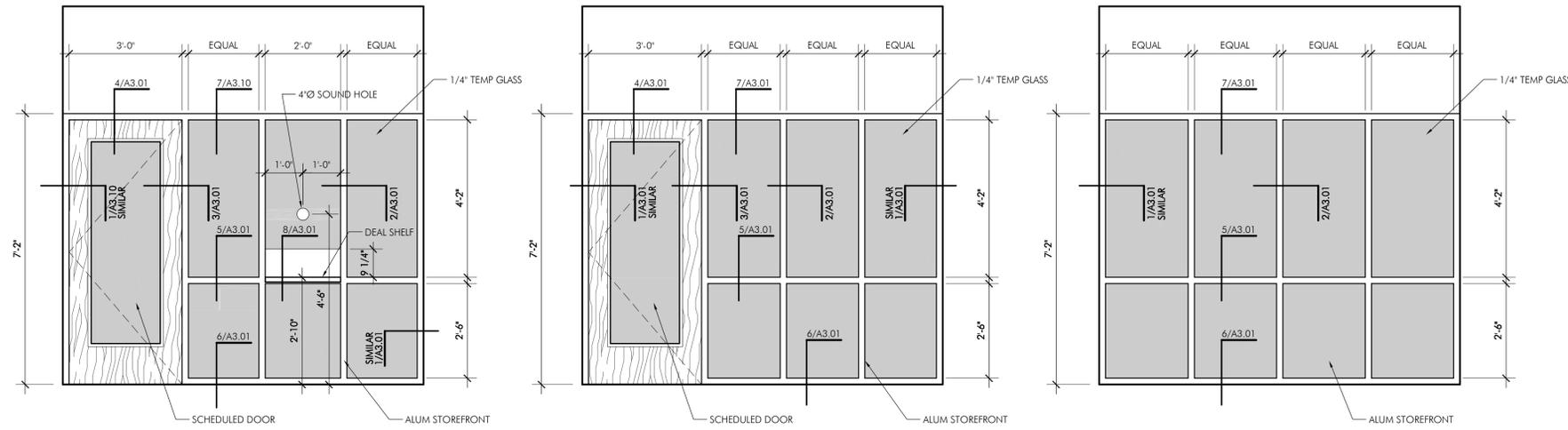
DOOR TYPE "C"
SOLID CORE WOOD DOOR
PREFINISHED WOOD VENEER
HOLLOW METAL FRAME
WOOD TRANSOM PANEL

11 DOOR TYPES
SCALE: 1/2" = 1'-0"

REVISIONS:

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REVISIONS:



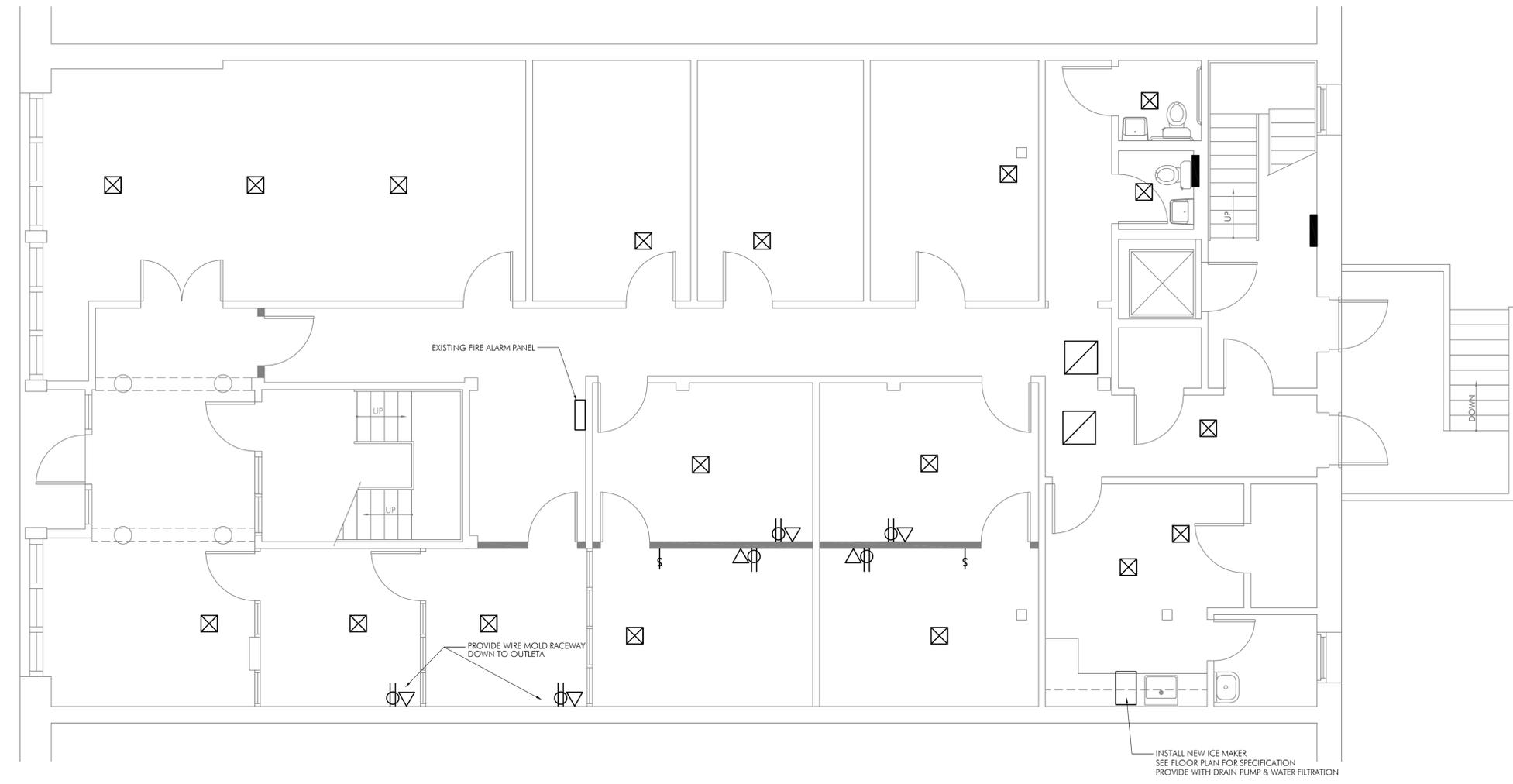
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FEBRUARY 25, 2026

ME1.01



ELECTRICAL SCOPE NOTES

1. CONTRACTOR SHALL PROVIDE ALL ELECTRICAL COMPONENTS NECESSARY TO ACHIEVE PROPER DISTRIBUTION OF ELECTRICAL LOADING OF AREA OF WORK WITHOUT CAUSING A DETRIMENT TO THE BALANCE OF OTHER BUILDING SPACES.
2. ALL ELECTRICAL WORK SHALL CONFORM TO STANDARDS AND CODES ADOPTED BY THE CITY OF SHREVEPORT, LOUISIANA.
3. CONTRACTOR SHALL SUBMIT PRODUCT DATA ON ALL ELECTRICAL DEVICES FOR APPROVAL PRIOR TO INSTALLATION.
4. ALL ELECTRICAL CONDUCTOR SHALL BE COPPER.
5. CONTRACTOR SHALL FIELD VERIFY ALL ELECTRICAL OUTLET LOCATIONS WITH OWNER PRIOR TO ROUGH-IN.
6. CONTRACTOR SHALL PROVIDE COORDINATION OF ALL TRADES SO ALL ELECTRICAL REQUIREMENTS OF ALL TRADES ARE SATISFIED.
7. CONTRACTOR SHALL VERIFY ALL ELECTRICAL CIRCUIT, FEEDER AND PANELS SIZES.
8. IF 3 PHASE POWER IS PROVIDED, ELECTRICAL LOADING OF PANELS SHALL BE BALANCED ACROSS EACH PHASE.

MECHANICAL SCOPE NOTES

1. ALL MECHANICAL WORK SHALL CONFORM TO STANDARDS AND CODES ADOPTED BY THE CITY OF SHREVEPORT, LOUISIANA.
2. MAIN TRUNK DUCT SHALL BE RIDGE PIPE WITH 2" VINYL OR FOIL FACED INSULATION. BRANCH DUCTS MAY BE RIGID OR FLEX DUCT.
3. PROVIDE AIR CONTROL DAMPERS AS NECESSARY TO PROPERLY BALANCE CONDITIONED AIR.

PLUMBING SCOPE NOTES

1. ALL PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES AND ALL APPLICABLE CODES & STANDARDS AS ADOPTED BY THE STATE OF LOUISIANA AND THE CITY OF SHREVEPORT.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLUMBING INSTALLATIONS WITH OTHER TRADES SUCH AS ELECTRICAL, HVAC, LIGHTING, CEILING CONSTRUCTION, AND SUPPORTS, ETC. ANY CONFLICTS ARISING OUT OF A LACK OF CONSTRUCTION COORDINATION OR DUE TO THE LACK OF CONSIDERATION FOR THE NEEDS OF OTHER TRADES SHALL BE RESOLVED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
3. ALL PLUMBING FIXTURES AND ACCESSORIES SHALL BE CONFORM TO THE MOST CURRENT EDITION OF THE LOUISIANA PLUMBING CODE.
4. THE WORK SHALL BE EXECUTED IN STRICT CONFORMITY WITH BASE BUILDING SPECIFICATION AND WITH THE LATEST EDITION OF THE PREVAILING LOCAL PLUMBING AND BUILDING CODES AND ALL LOCAL REGULATIONS THAT MAY APPLY. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND A GOVERNING CODE OR ORDINANCE THE MORE STRINGENT STANDARD SHALL APPLY.
5. NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION BY THE ARCHITECT.
6. NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
7. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING RELATED FEES.

GENERAL EQUIPMENT NOTES

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3. ALL ITEMS NOTED AS "CONTRACTOR'S OPTION" SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
4. ALL EQUIPMENT SHALL BE INSTALLED AS TO PROVIDE A COMPLETE, WORKABLE INSTALLATION.
5. ALL EQUIPMENT SHALL BE SIZED AS APPLICABLE FOR ITS INTENDED USE.

FLOOR PLAN SYMBOLS LEGEND

-  110V DUPLEX OUTLET
-  DATA OUTLET - PROVIDE WALL BOX WITH 3/4"Ø CONDUIT ABOVE CEILING FOR FUTURE DATA CABLING.
-  NEW LIGHT CONTROL SWITCH
-  NEW HVAC SUPPLY AIR GRILL
PROVIDE NECESSARY DUCT WORK TO EXTEND EXISTING DUCT TO NEW REGISTER LOCATION
-  NEW HVAC RETURN AIR FILTER GRILL
-  EXISTING ELECTRICAL PANEL

1 GROUND FLOOR MECH/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

NOTE: SEE REFLECTED CEILING PLAN FOR LIGHTING SCOPE.

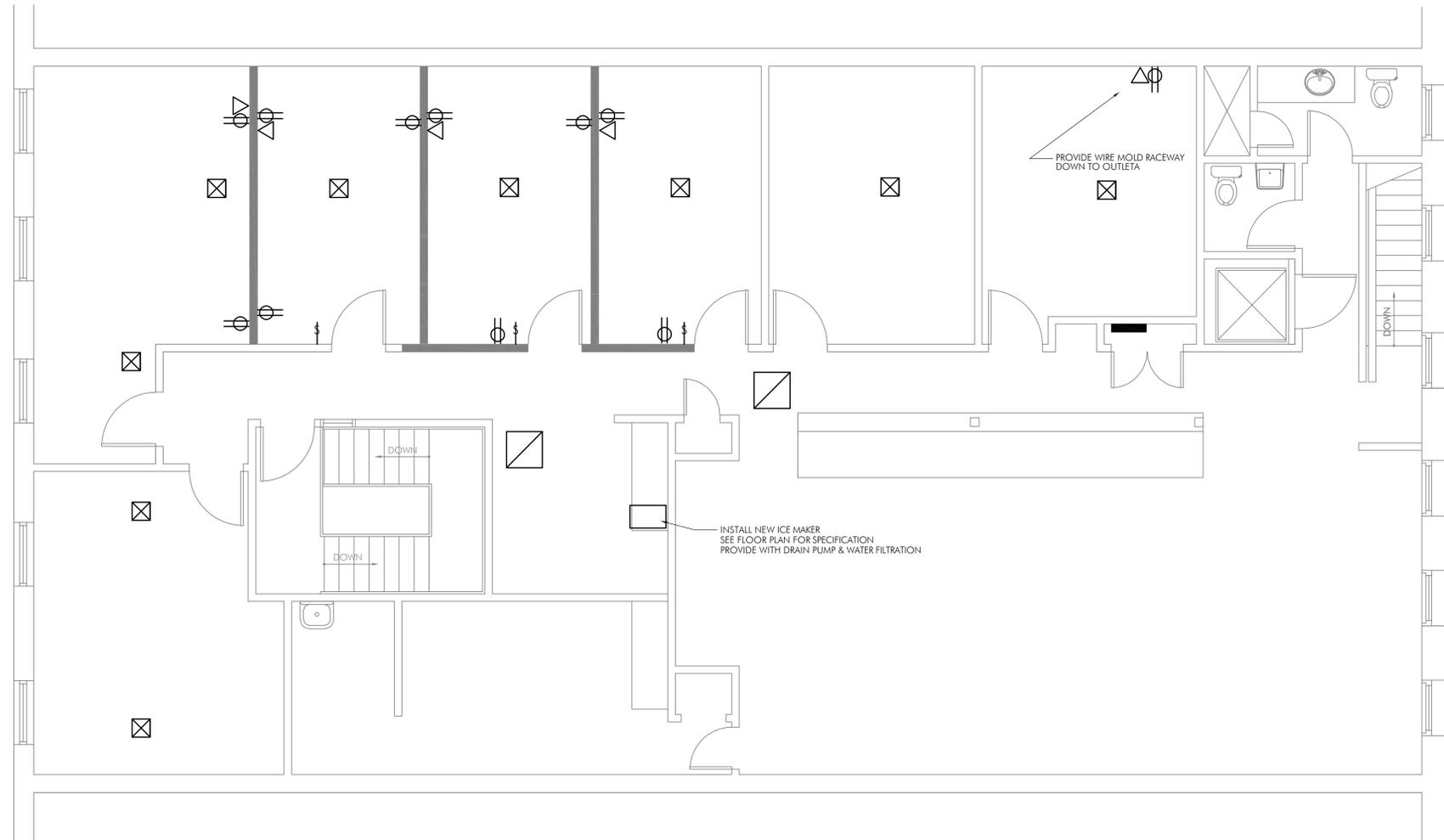
GRAPHIC SCALE WILL BE FULL SCALE UNLESS INDICATED OTHERWISE

REVISIONS:

AN OFFICE RENOVATION FOR
SPAR RECREATION & ATHLETICS
856 TEXAS AVENUE
SHREVEPORT, LOUISIANA 71101

FEBRUARY 25, 2026

ME1.02



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	NEW HVAC RETURN AIR FILTER GRILL
	EXISTING ELECTRICAL PANEL

1 SECOND FLOOR MECH/ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE: SEE REFLECTED CEILING PLAN FOR LIGHTING SCOPE.